# ANNEXATION TO DECLARATION OF DRY CREEK OFFICE PARK, a Condominium

THIS ANNEXATION TO DECLARATION OF DRY CREEK OFFICE PARK, a Condominium (hereinafter the "Annexation") is made effective this 1/2 day of 1/2 day of 1/2 Dry Creek, LLC, a Texas Limited Liability Company ("Declarant").

#### RECITALS

WHEREAS, Declarant executed and recorded a DECLARATION OF DRY CREEK OFFICE PARK, a Condominium (hereinafter the "Declaration"), on June 14, 2017, as recorded under Montgomery County Clerk's DOC# 2017052234, in the real property records of Montgomery County, Texas (the "Records"). The Declaration imposes certain easements, restrictions, covenants and conditions on the real property described therein (the "Property"), and governs the development of the Property, including but not limited to, the maintenance of certain common areas contained within the Property; and

WHEREAS, Declarant is the owner of the real property described in Exhibit A, attached hereto, and incorporated herein by reference (the "Additional Land"); and

WHEREAS, the Additional Land consists of approximately 3.38 acres, and is adjacent to the Property; and

WHEREAS, Declarant desire to annex the Additional Land into the Property subject to the Declaration; and

WHEREAS, pursuant to the provisions of Section L.3.a. of the Declaration, the Declarant shall have the right during the time of Declarant Control to add real property to a condominium, including but not limited to Block 2, Restricted Reserve "B", described as 3.38 acres out of Dry Creek, a subdivision in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet Z, Sheet 3894 of the Plat Records of Montgomery County, Texas; and

WHEREAS, pursuant to the provisions of Section E.2. of the Declaration, Declarant Control expires not later that the one hundred-twentieth (120th) day after conveyance of seventy-five percent (75%) of the Units to Owners other than Declarant; and

WHEREAS, the Declarant Control has not expired; and

WHEREAS, any capitalized terms not defined in this Annexation shall have the meaning provided in the Declaration.

#### ANNEXATION

**THEREFORE**, for and in consideration of the promises and covenants contained herein, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, upon the recording of this Annexation in the Records, the Declarant hereby agree and declare as follows:

- 1. The Additional Land is hereby annexed into the Property subject to the Declarations, which annexation is consistent with the general overall plan for the development of the Property.
- 2. The Additional Land shall be held, transferred, sold, conveyed, used and occupied in accordance with and subject to those certain covenants, conditions, restrictions, easements, charges and liens set forth in the Declaration, as it may be hereafter amended, which shall run with the land and shall be binding on all parties having any right, title, or interest in the Additional Land or any part thereof, their heirs, successors and assigns, and which shall inure to the benefit of each owner thereof
- 3. Pursuant to Section L.3.(a) of the Declaration, during the Declarant Control, the Declarant reserves right, to add real property to a condominium, including but not limited to Block 2, Restricted Reserve "B", described as 3.38 acres out of Dry Creek, a subdivision in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet Z, Sheet 3894 of the Plat Records of Montgomery County, Texas.

IN WITNESS WHEREOF, the undersigned have executed this Annexation to the DECLARATION OF DRY CREEK OFFICE PARK, a Condominium effective the day and year first above written.

DECLARANT

TEV Dry Creek, LLC,

a Texas Limited Liability Company

ohn Sawyer, Manager

STATE OF TEXAS

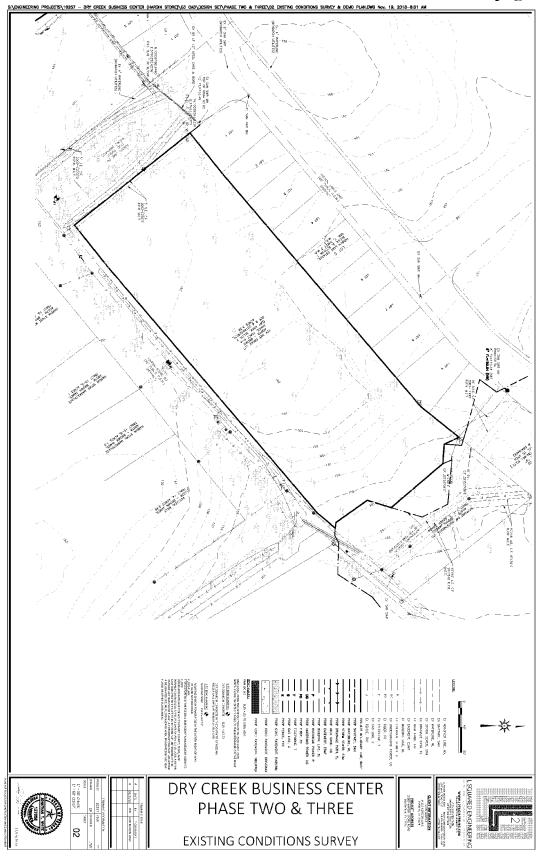
COUNTY OF HOUSE

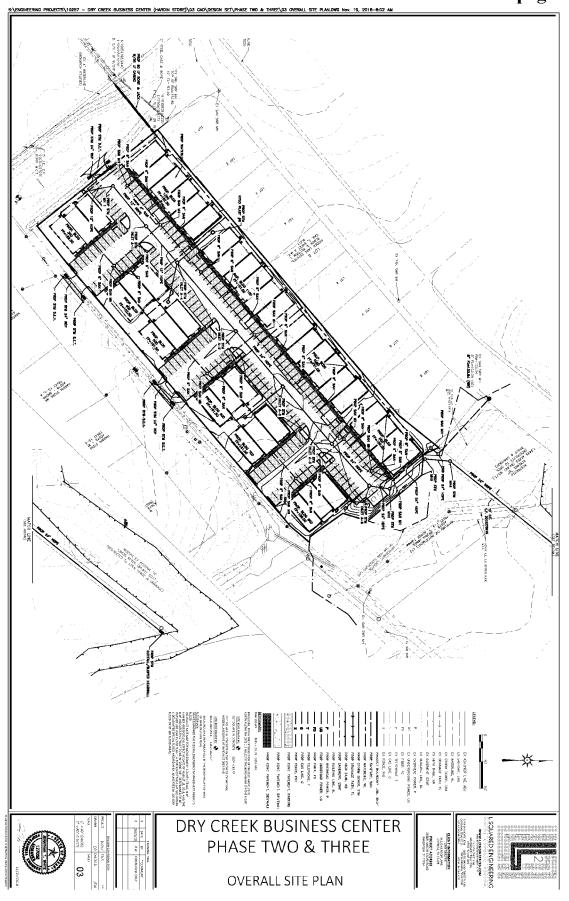
BEFORE ME, a Notary Public, on this \_\_\_\_\_ day of \_\_\_\_\_\_, 2021 personally appeared JOHN SAWYER, proven to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same in the capacity therein.

MUSARRAT J AHMED
Notary Public, State of Texas
Comm. Expires 10-11-2022
Notary ID 12854310-1

Notary Public

EXHIBIT A - page 1





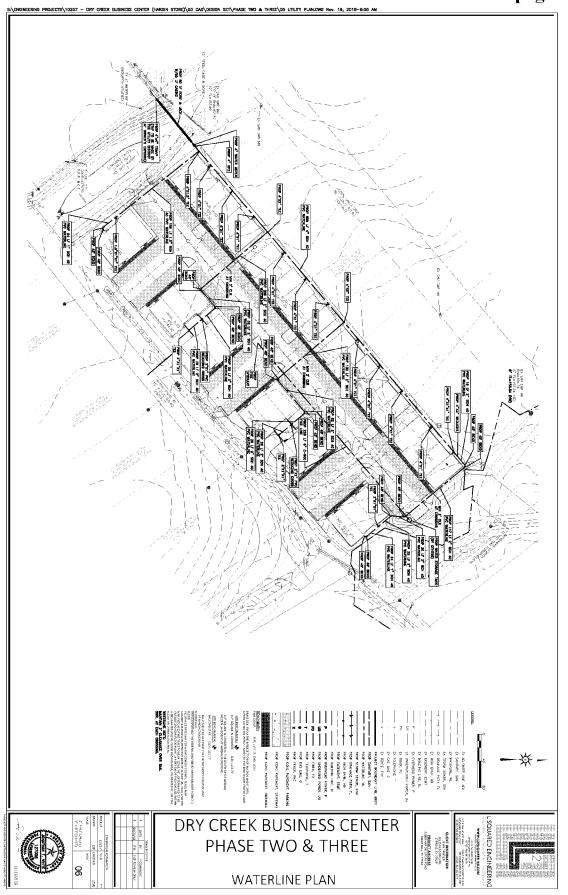
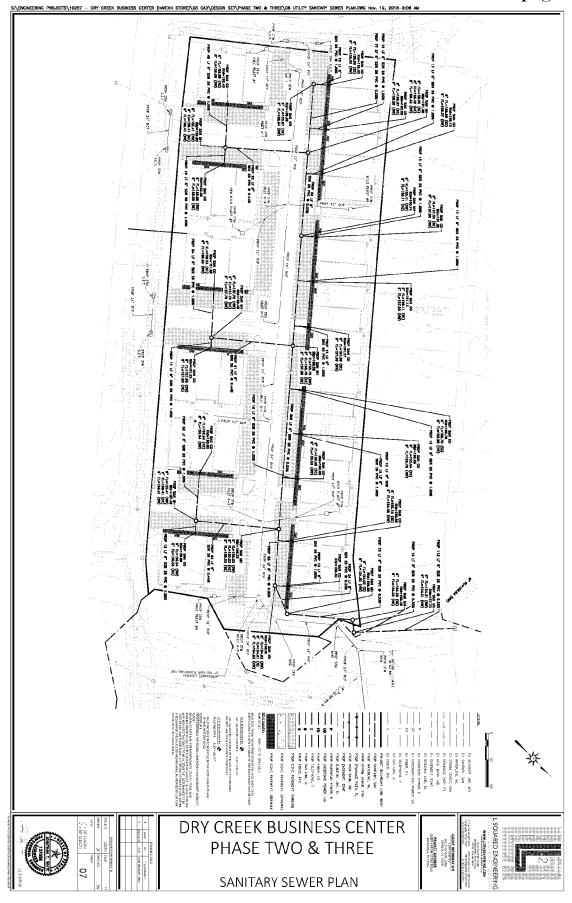
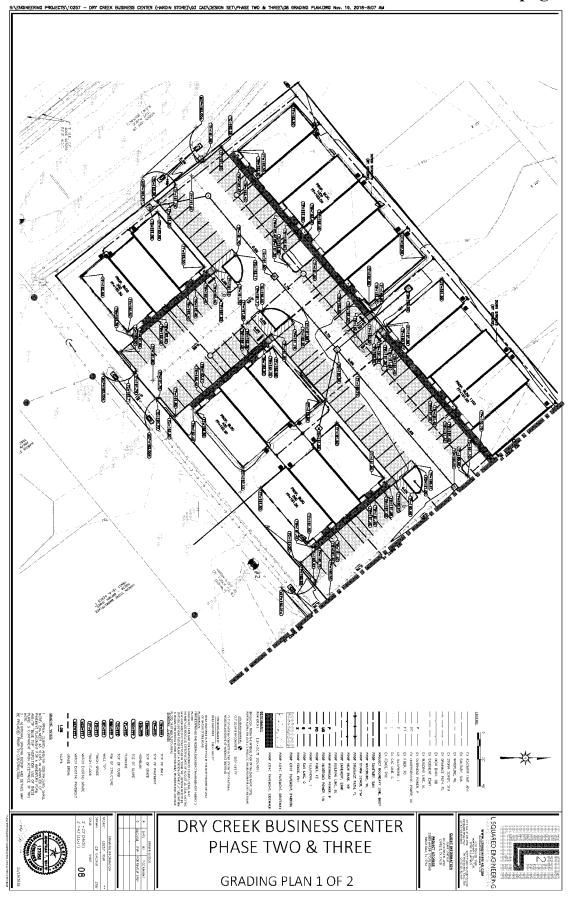
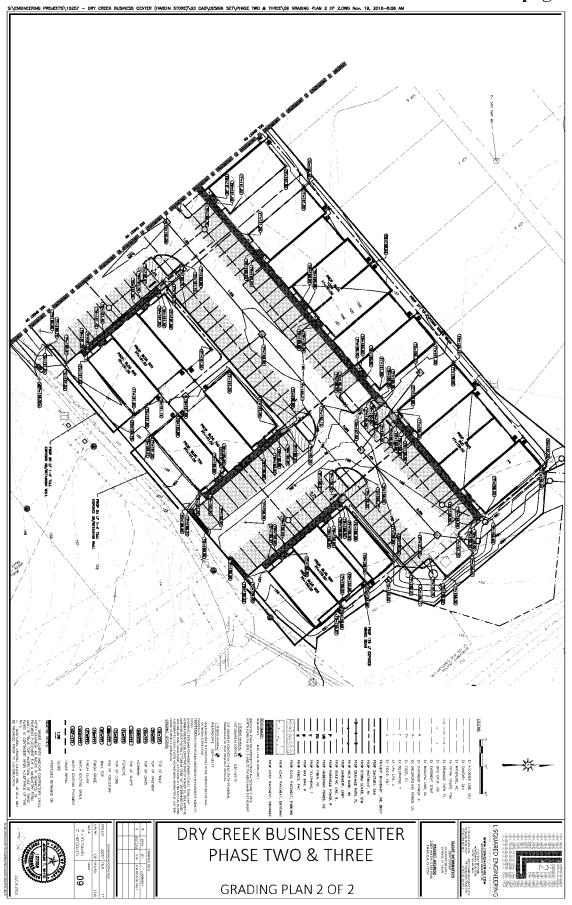


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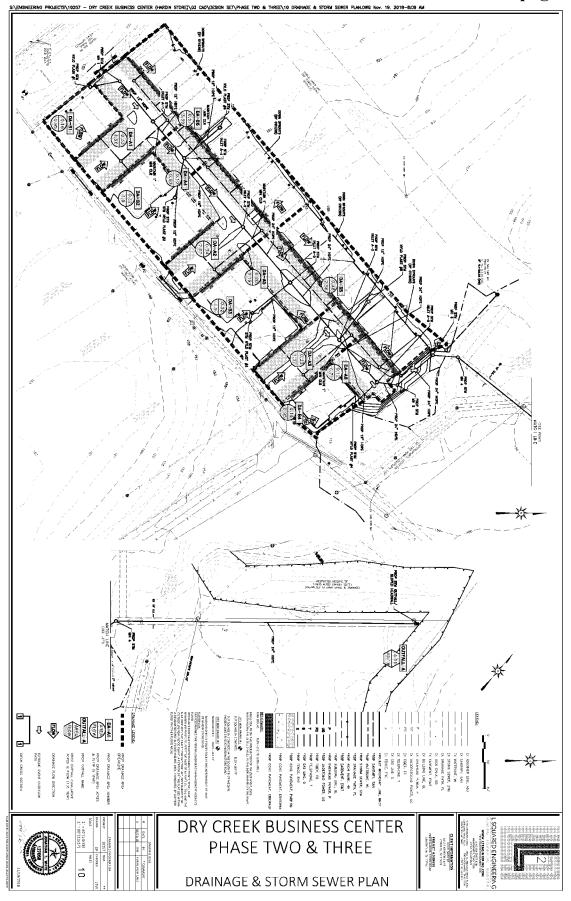
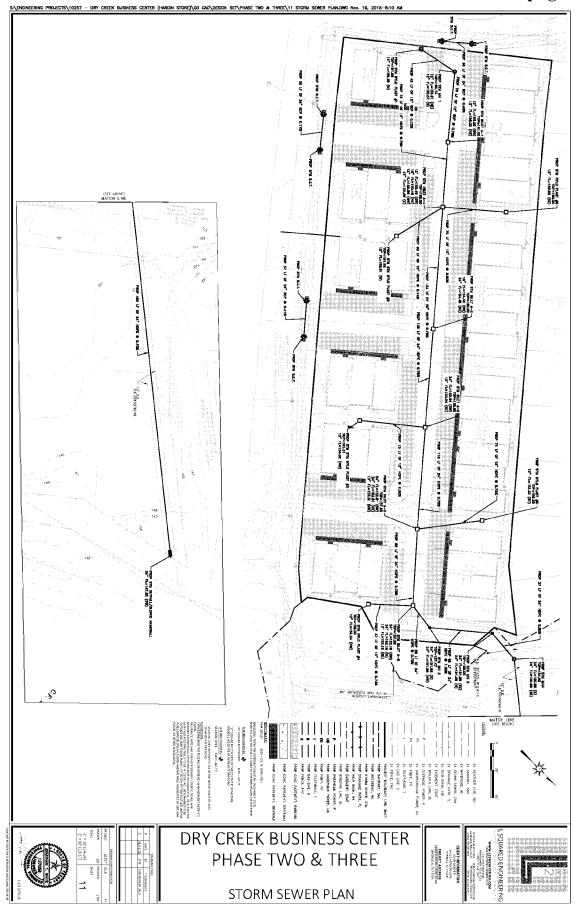


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**E-FILED FOR RECORD** 02/23/2021 04:27PM

COUNTY CLERK MONTGOMERY COUNTY, TEXAS

## STATE OF TEXAS, COUNTY OF MONTGOMERY

I hereby certify that this instrument was e-filed in the file number sequence on the date and time stamped herein by me and was duly e-RECORDED in the Official Public Records of Montgomery County, Texas.

### 02/23/2021

County Clerk Montgomery County, Texas